

PLANNING

Date: Monday 28 April 2025
Time: 5.30 pm
Venue: Guildhall, High Street, Exeter

Members are invited to attend the above meeting to consider the items of business.

If you have an enquiry regarding any items on this agenda, please contact Mark Devin, Democratic Services Manager on 01392 265477.

Membership -

Councillors Knott (Chair), Patrick (Deputy Chair), Asvachin, Atkinson, Banyard, Bennett, Hughes, Hussain, Jobson, Ketchin, Miller-Boam, Mitchell, M, Pole and Rolstone

Presentations

Part I: Items suggested for discussion with the press and public present

5 Planning Application No. 25/0072/LBC - 25 The Strand, Topsham

To consider the report of the Strategic Director for Place.

(Pages 3 -
36)

Date of Next Meeting

The next scheduled meeting of the Planning Committee will be held on **Wednesday 28 May 2025** at 5.30 pm in the Civic Centre.

Find out more about Exeter City Council services by looking at our web site <http://www.exeter.gov.uk>. This will give you the dates of all future Committee meetings and tell you how you can ask a question at a Scrutiny Committee meeting. Alternatively, contact the Democratic Services Officer (Committees) on (01392) 265107 for further information.

Individual reports on this agenda can be produced in large print on request to Democratic Services (Committees) on 01392 265107.

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Exeter City Council Planning Committee 28 April 2025



Exeter
City Council

Application 25/0072/LBC

Site: 25 The Strand, Topsham

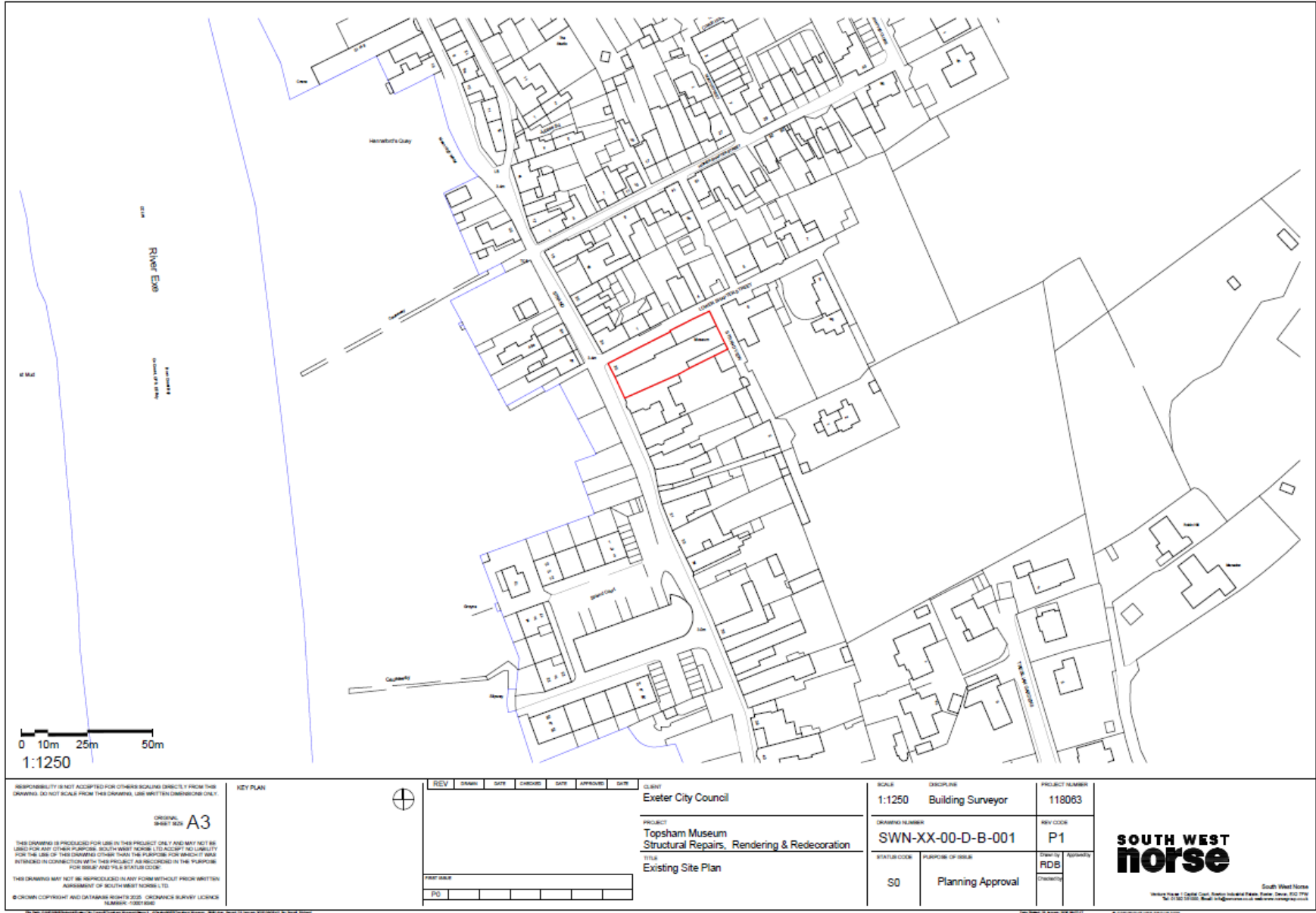
Applicant: Exeter City Council

Proposal: Roof and floor repairs. External masonry and wall repairs; re-building of parapet. Replacement of 20th Century windows in sail loft. Removal of external wall cement rendering and replacement with lime render. Replacement of 20th Century fixed slatted shutters on south elevation.

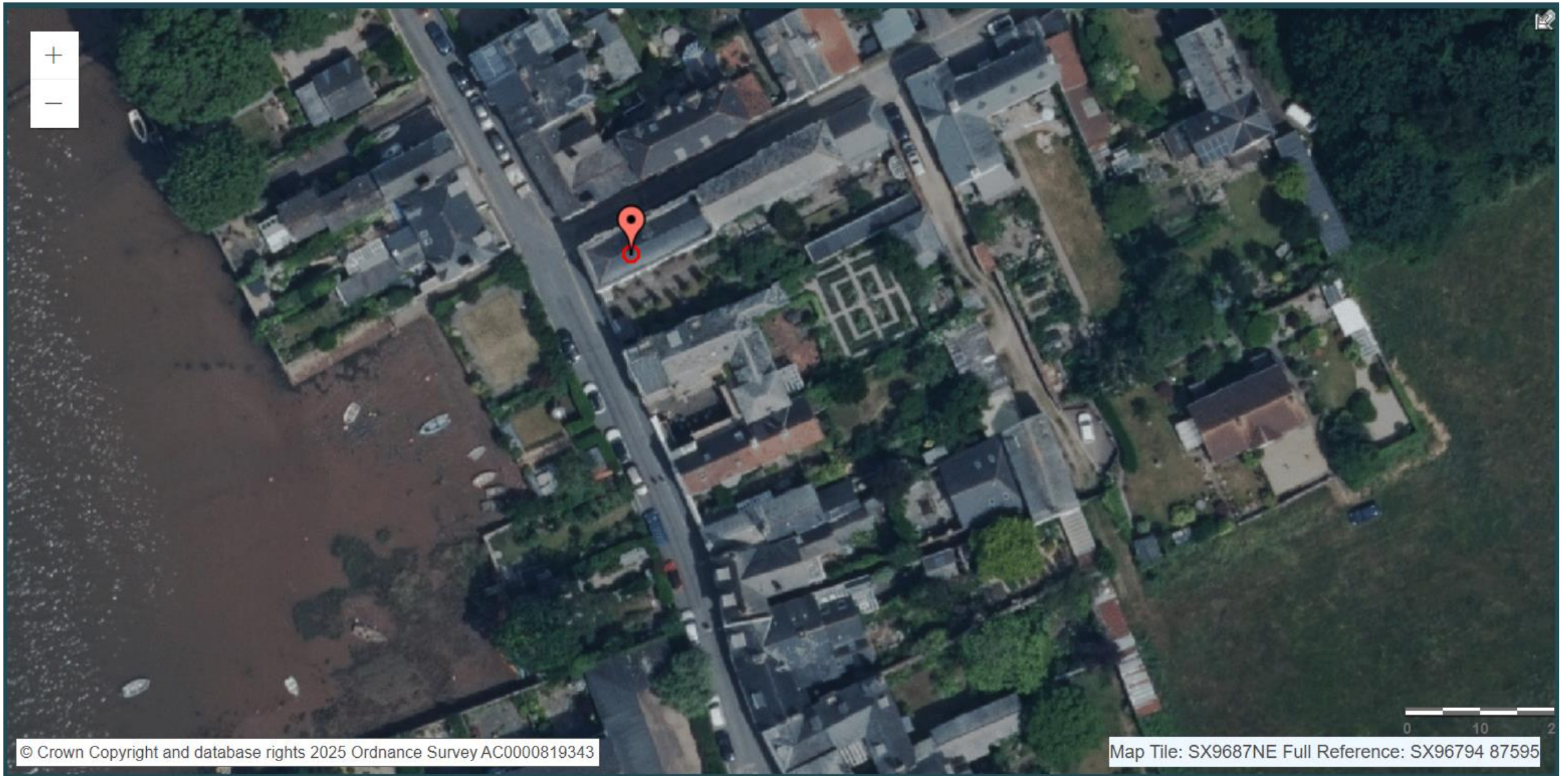
Case Officer: Matt Hall



SITE LOCATION



SITE LOCATION PLAN



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Map Tile: SX9687NE Full Reference: SX96794 87595

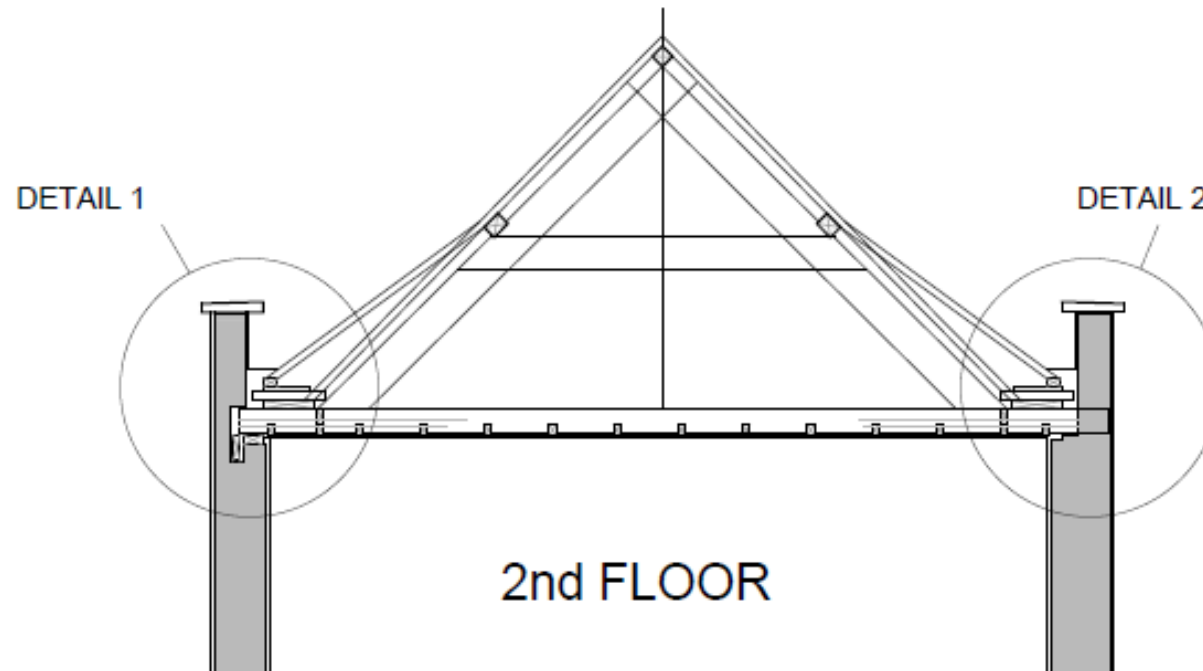
AERIAL VIEW



PHOTOS

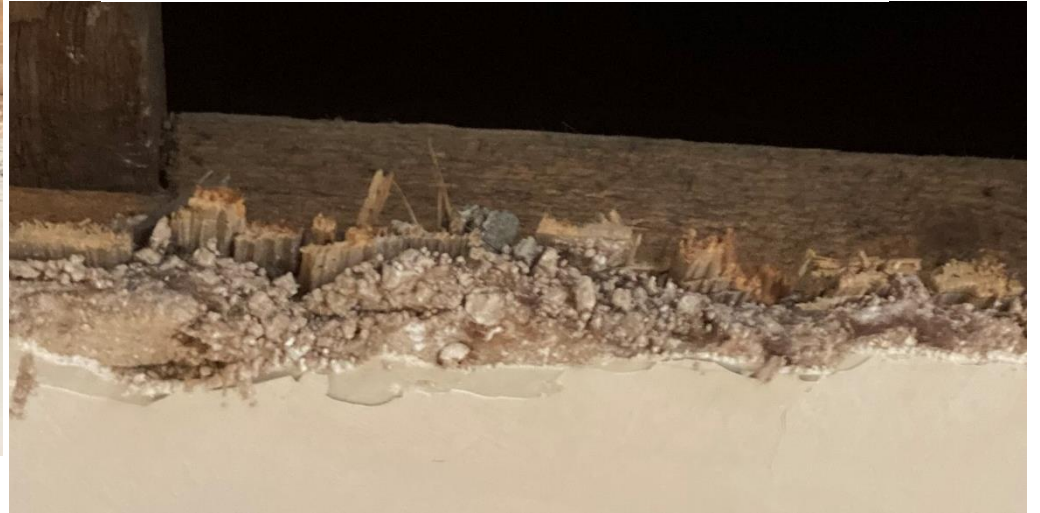
- Roof and floor repairs
- External masonry and wall repairs; re-building of parapet
- Replacement of 20th Century windows in sail loft
- Removal of external wall cement rendering and replacement with lime render
- Replacement of 20th Century fixed slatted shutters on south elevation

Roof repairs





SITE PHOTOS



SITE PHOTOS

No objection from Historic England

Objection from the Society for the Protection of Ancient Buildings (SPAB):

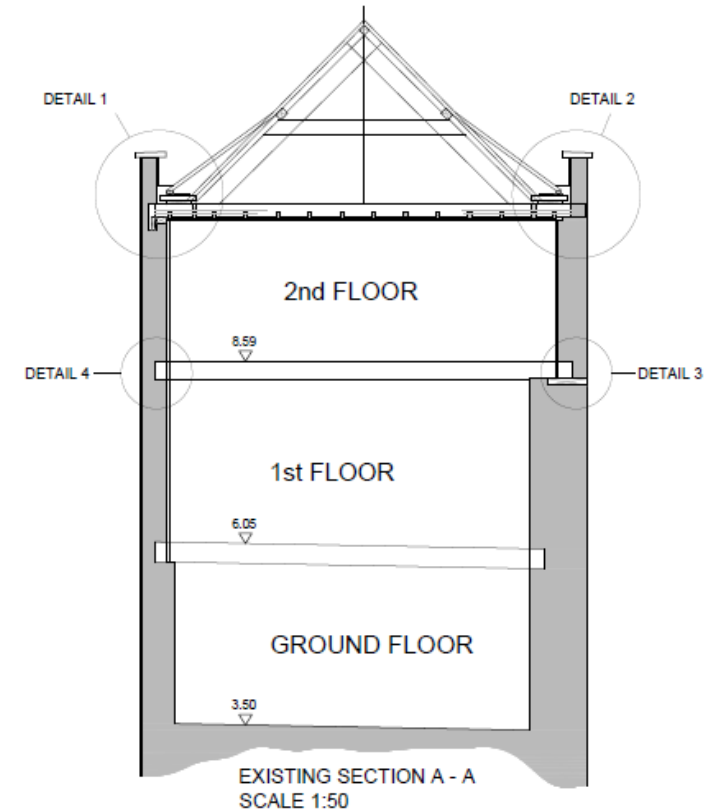
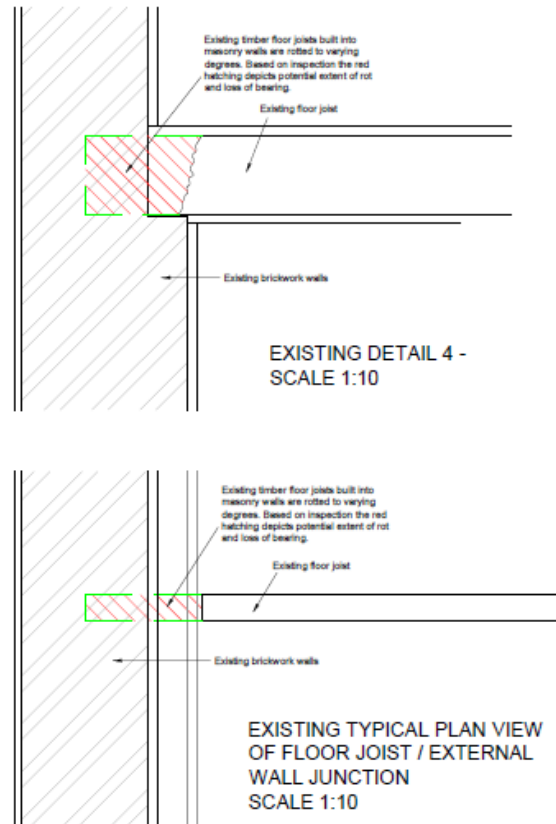
The need for repairs to the roof trusses [...] is also clear, but we have concerns about the proposed methods. The roof trusses may date to 1739 and are certainly C18, but it is not confirmed whether the ceiling joists are contemporary to the trusses or later additions. They are bolted to the truss chords at present but support a lath and plaster ceiling which invites further assessment: the ceiling joists are likely historic, if not original. The interventions as proposed would require the cutting back of these joists in, by our calculations, at least 32 locations. The trimmed joists would then be hung off joist hangers. This change is required as a direct result of the proposed interventions to stabilise the junction between the truss cords and the wallhead by encapsulating the ends of the chords in a timber boot. The boot would have the further negative impact of obscuring the chamfered edges of the cords (albeit within the attic space).

In our view that a more elegant solution is likely available which addresses the structural issues whilst requiring a less bulky and visually cumbersome addition and avoiding the need to cut away so much of the ceiling joists. We recommend that the applicant engages a CARE accredited engineer to advise in this matter, and that further investigation is made as to the age and significance of the ceiling joists.

- The roof and ceiling joists are the same age as the main roof structure.
- Some loss of ceiling joist ends, however, the great majority of ceiling joist ends will remain wholly undisturbed.
- Repair avoids disturbance of the joints of the main timbers and avoids changing the way the main roof structure functions.
- SPAB raises concerns about obscuring the chamfered beam ends; Officer view - minimal and rudimentary chamfering or no chamfering.
- The applicant has sought advice from appropriately qualified and experienced specialists. CARE accreditation is not an essential requirement
- The proposed repair is an acceptable approach to resolving the problem.

The benefit of ensuring the structural stability of the roof is considered to outweigh the small amount of harm arising from the loss of some ceiling joist ends.

Floor joist repairs

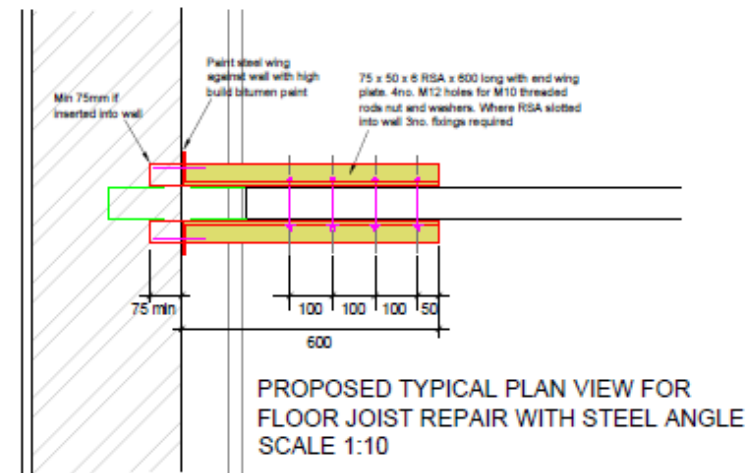
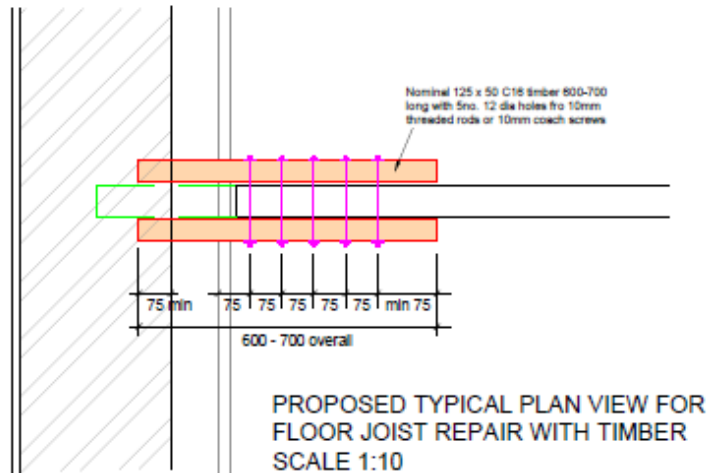
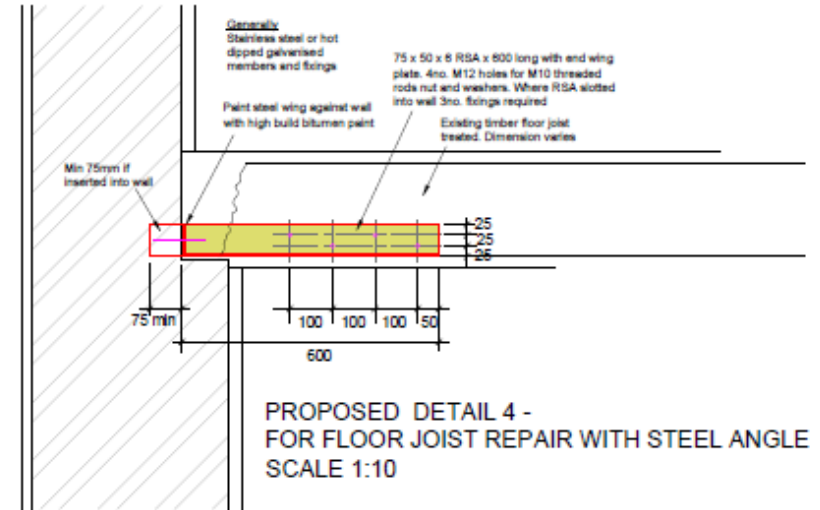
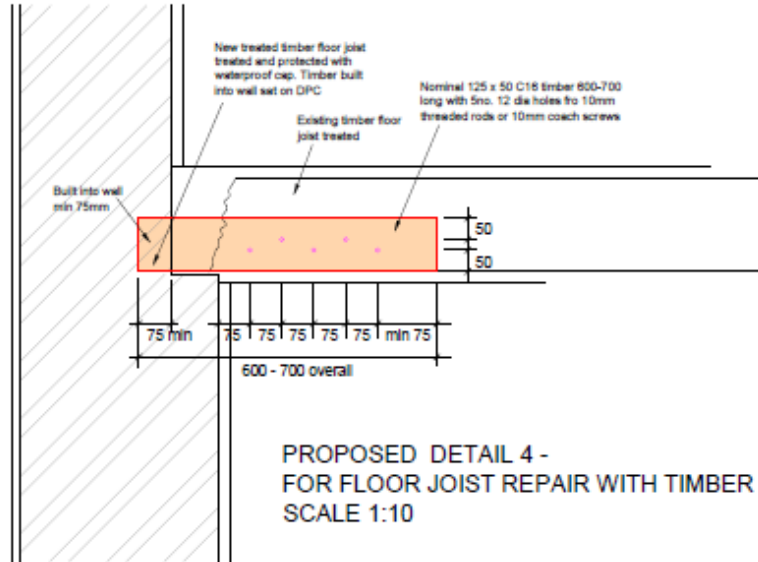


PROPOSAL OVERVIEW



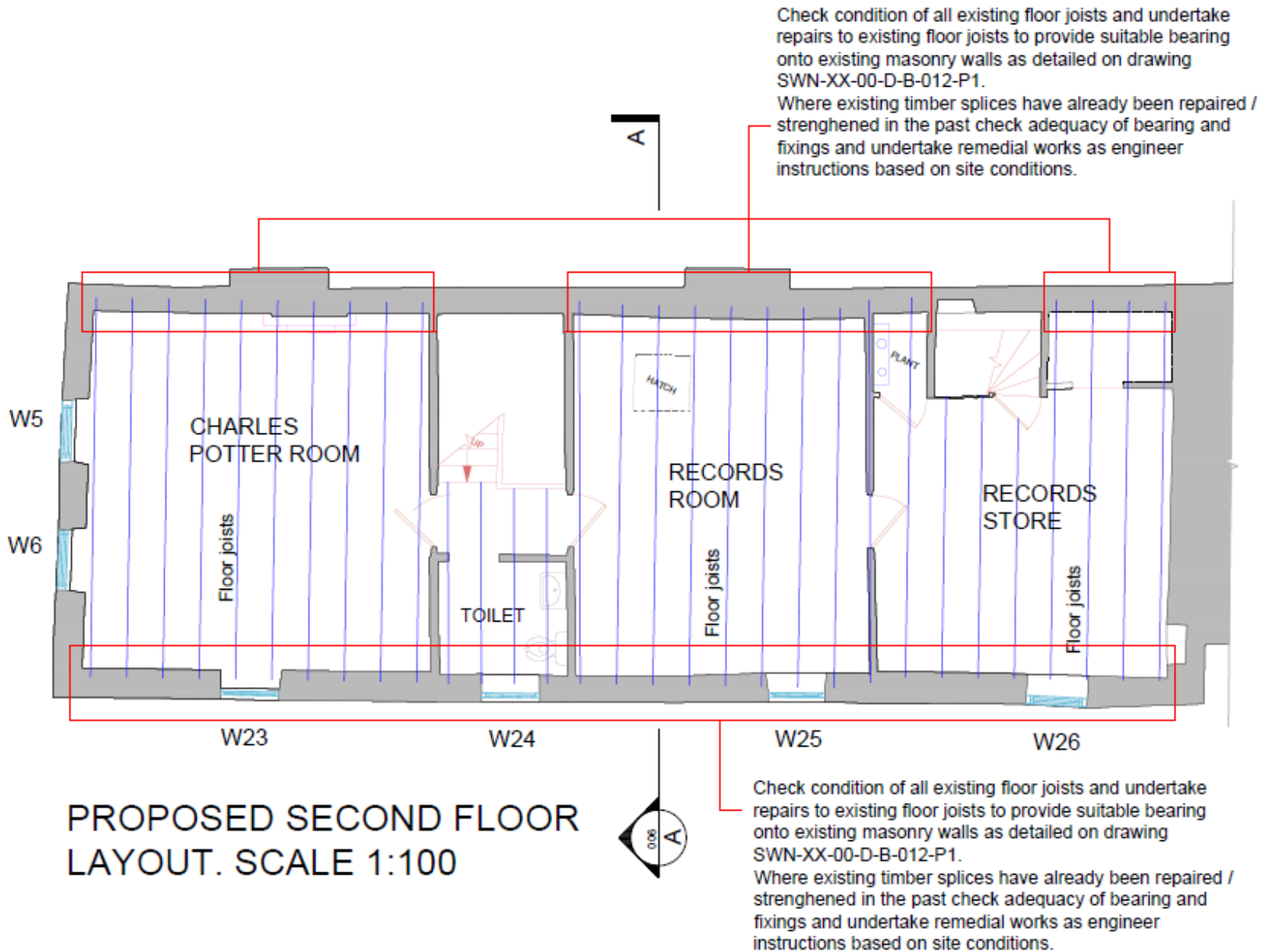


SITE PHOTOS

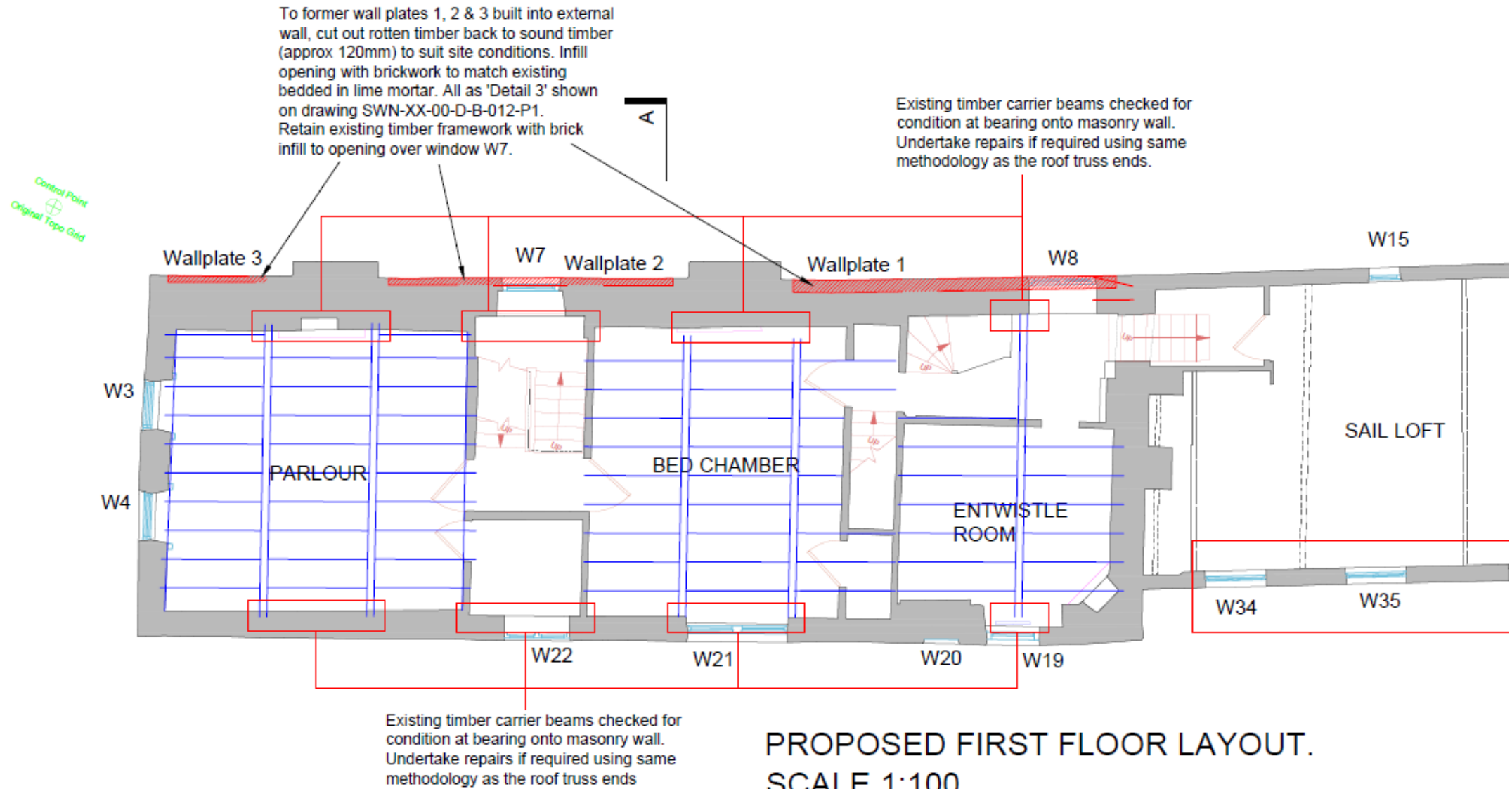


PROPOSED CROSS-SECTION DETAIL 4

Control Point
 V Topo Grid



PROPOSED SECOND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

No objection from Historic England

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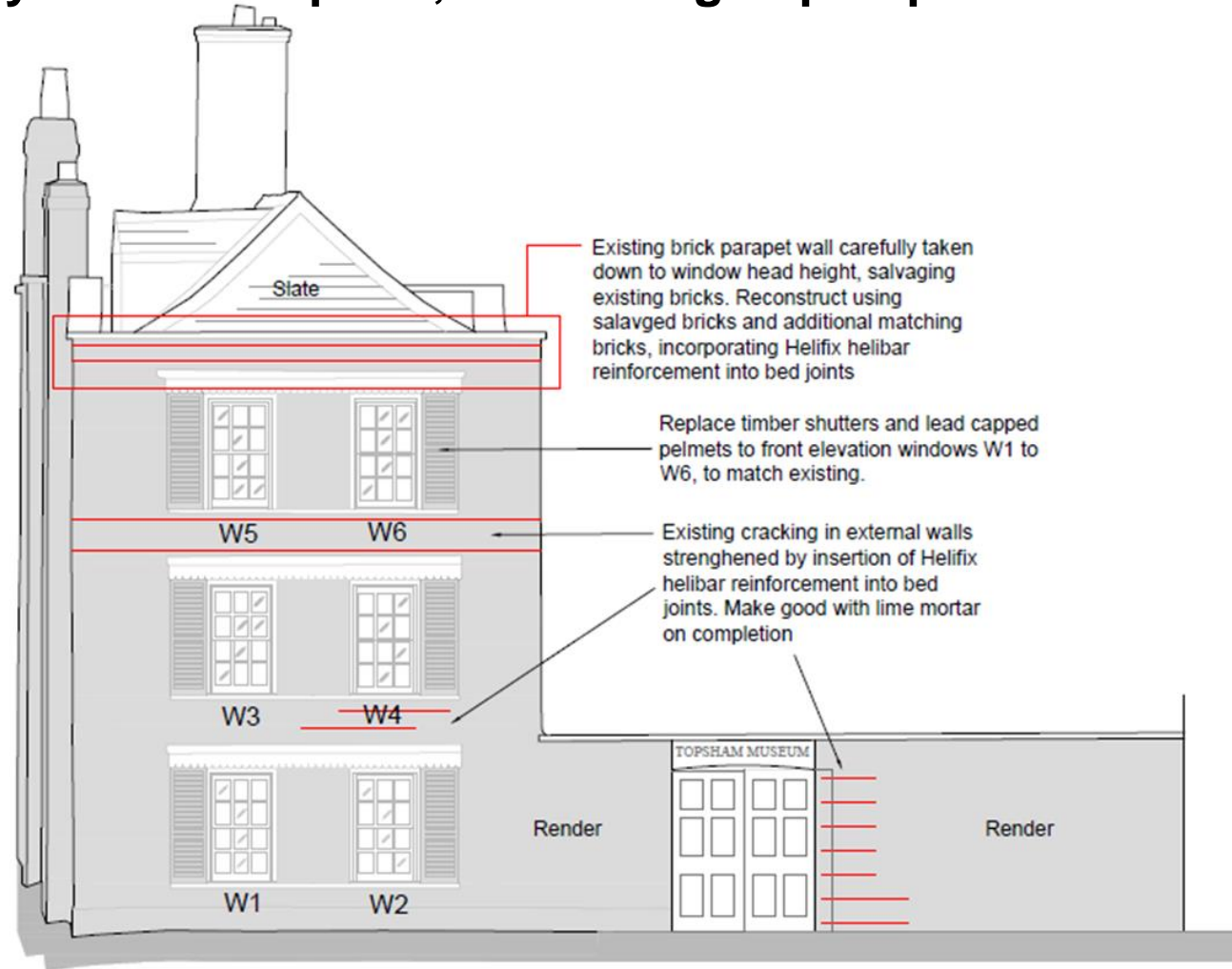
The need for structural repairs at the first and second floors in the south-west range is clear, and our preference for the works to the floor joists would be to employ steel angles. These offer a neater method by which to tie the floor joists to the walls when compared to the option utilising timber.

- Repair methods for the floor joist ends are considered to be acceptable
- Proposal - Two specific repair methods, which will be selected depending on the situation and extent of decay in each joist end.

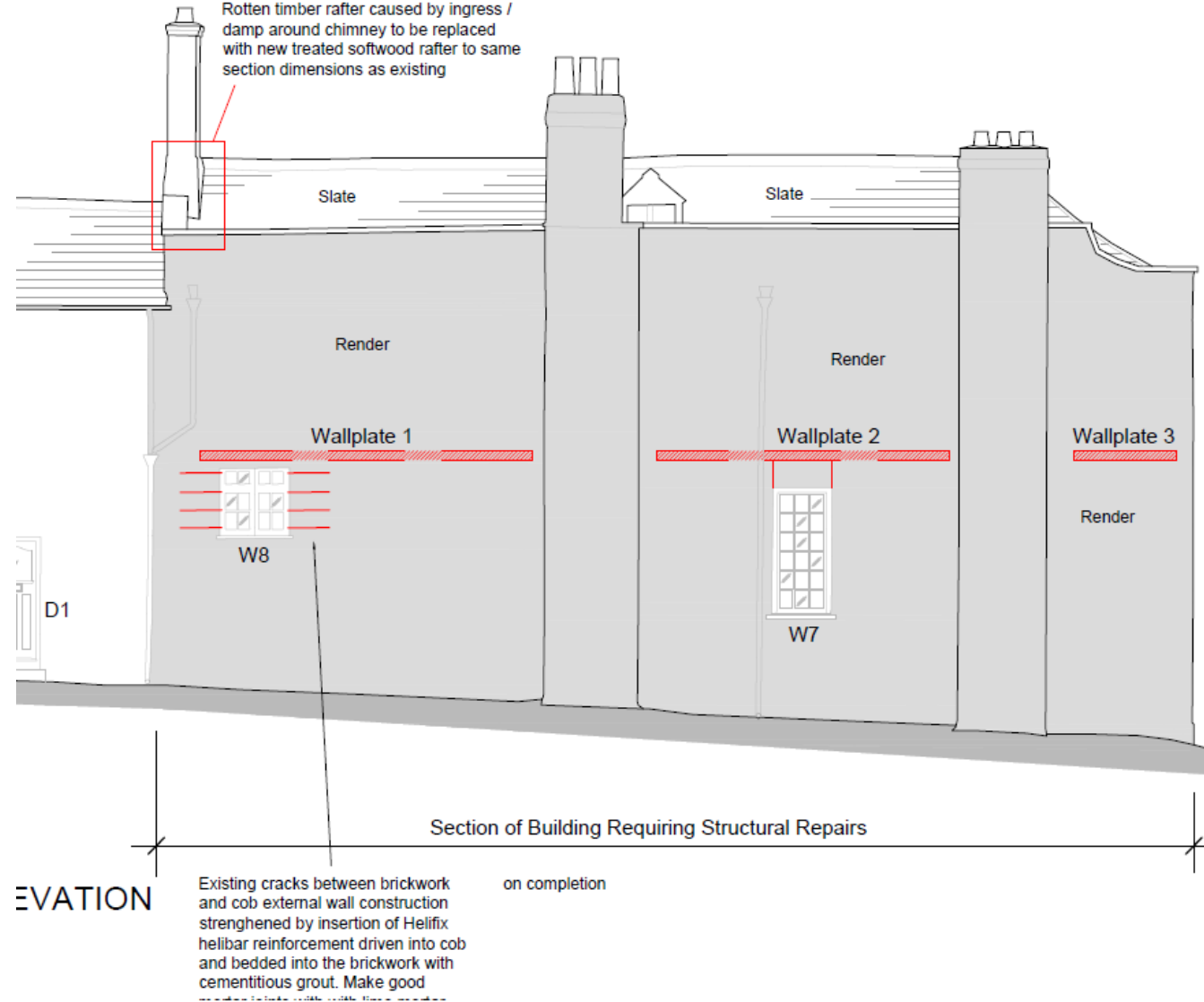
SPAB has expressed a preference for just one of the proposed repair methods.

- Where a timber repair is a practical option without excess disturbance of historic fabric in the external wall, it is considered to be more appropriate than a repair using steel angles bolted to the inner faces of the masonry walls.
- Officer advice is that **timber repairs are appropriate** and justified, with use of steel angles as a reserve option where timber repair is not possible.

- **External masonry and wall repairs; re-building of parapet**



PROPOSAL OVERVIEW & WEST ELEVATION

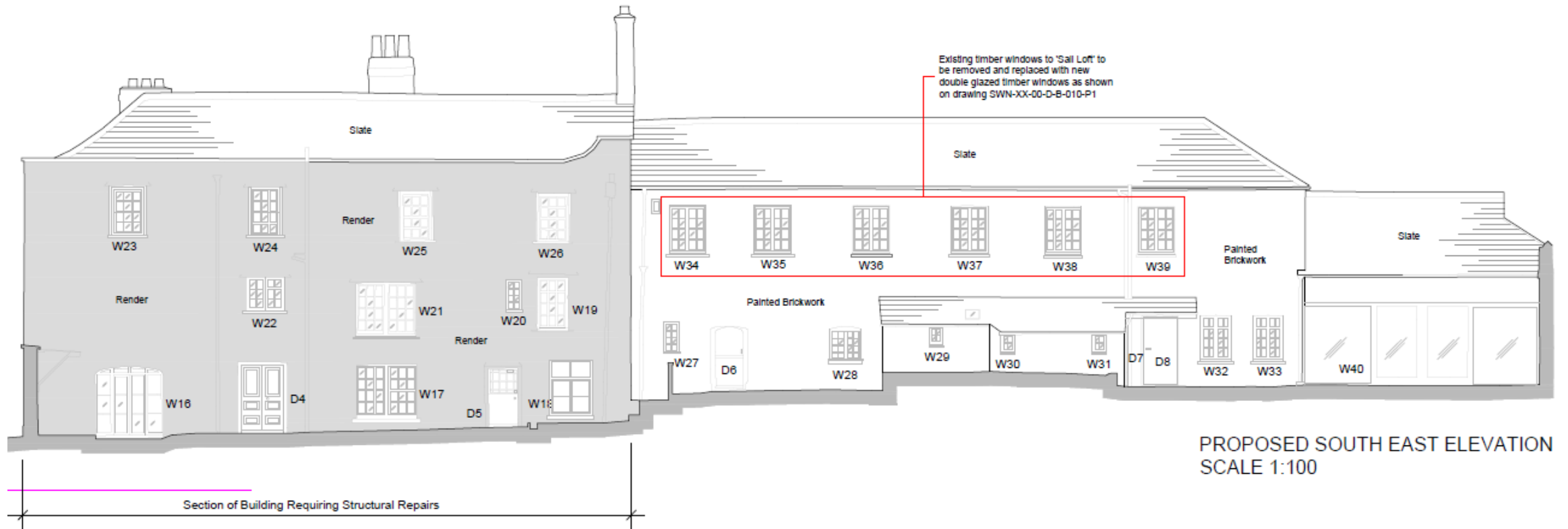


NORTH ELEVATION



PHOTOS OF PARAPET

- Replacement of windows in sail loft





SITE PHOTOS

No objection - Historic England

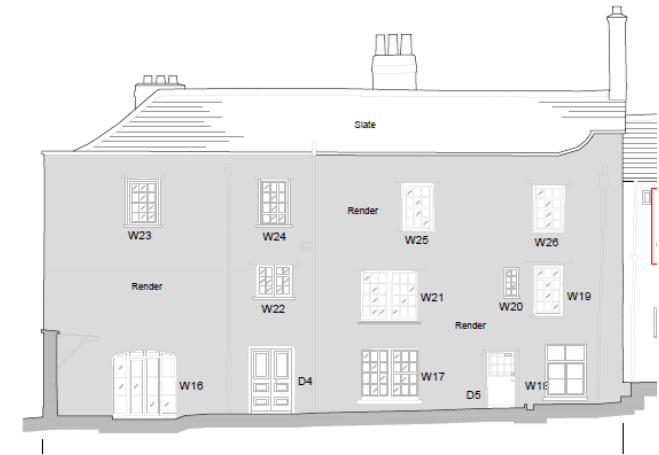
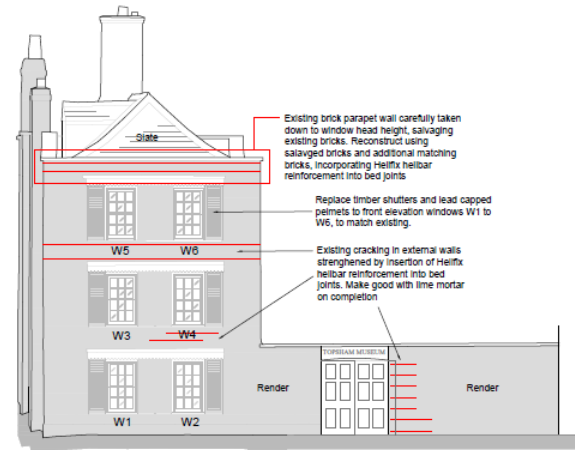
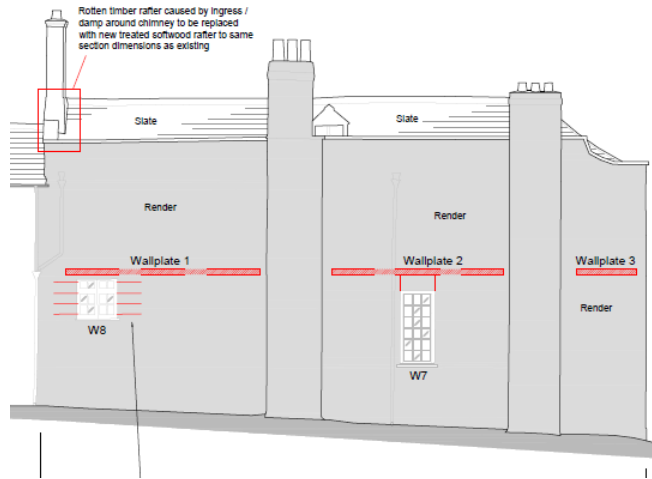
Objection from the Society for the Protection of Ancient Buildings (SPAB):

Considering the 6 no. south-east facing windows at first floor level in the central Victorian range (sail loft), and the shutters and pelmets to the front elevation, we would have hoped to see a greater assessment of the age and significance of these elements within the application. As their significance has not been made clear, it is our view that the application has not yet satisfied paragraph 217 of the National Planning Policy Framework (NPPF) which requires applicants 'to describe the significance of any heritage assets affected' by proposals. Additional information is required to address this.

The application confirms that repair of the windows is feasible, and so their replacement would not be supported unless it can be demonstrated that these are modern introductions. Regarding the shutters and pelmets, the significance and condition of these elements should be made clear, so that an assessment can be made as to whether their replacement is appropriate.

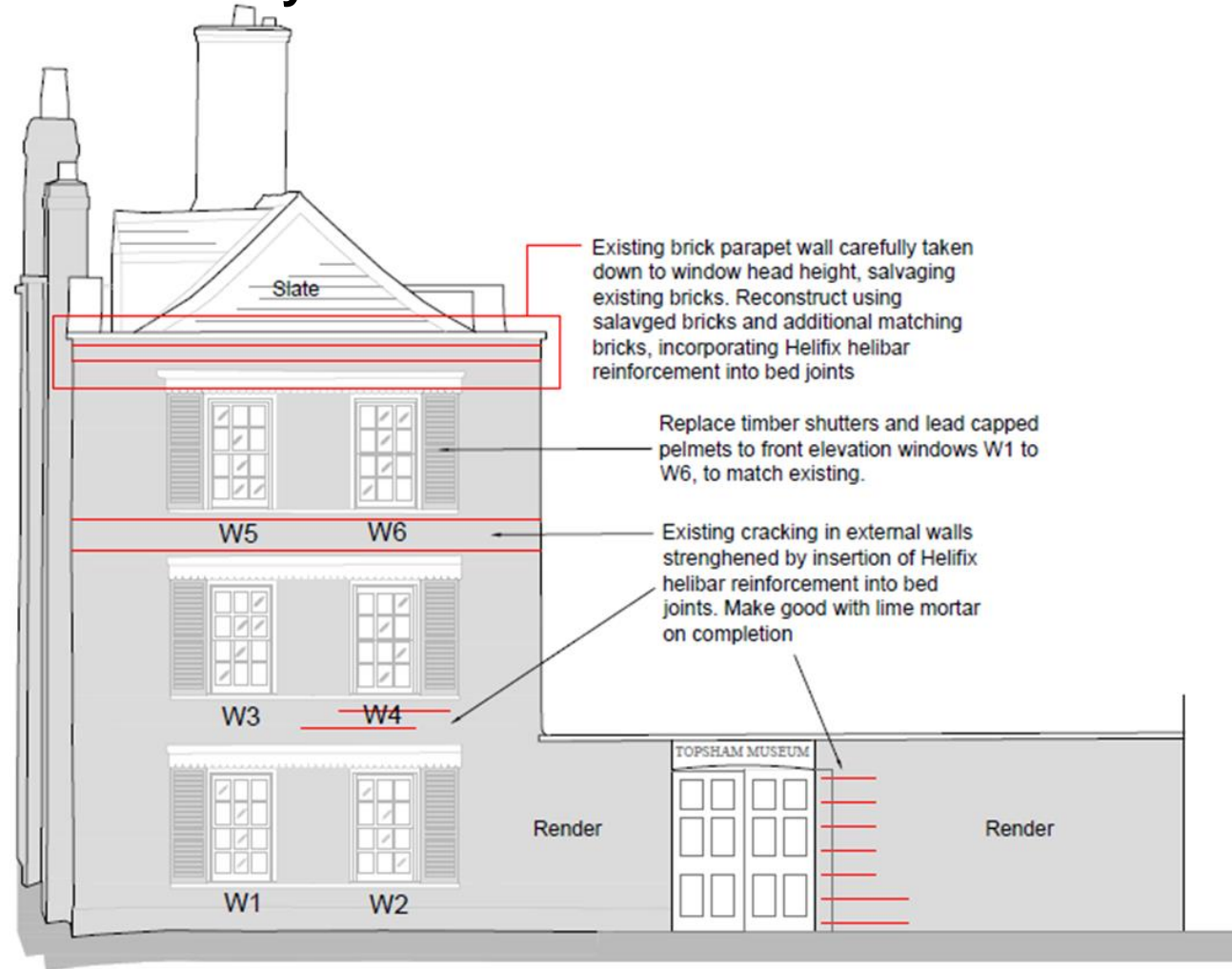
- The sail loft windows proposed for replacement are themselves replacements **dating from the 1980s** and are not historic.
- The timber of the 1980s windows was not high quality and has reached the end of its useful life. Repair is not a realistic option.
- The historic windows elsewhere in the building were made of high quality slow-grown timber and do not need to be replaced. They will be repaired by a specialist joiner, with new timber scarfed in to replaced decayed sections.
- Officer advice is that **sufficient information** has been provided by the applicant to satisfy paragraph 217 of the NPPF, the windows proposed for replacement are of low significance, and the proposed replacement windows will have a neutral impact on the significance of the listed building.

- Removal of external wall cement rendering and replacement with lime render





- Replacement of 20th Century fixed slatted shutters on south elevation



PROPOSAL OVERVIEW & WEST ELEVATION



PHOTOS

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Regarding the shutters and pelmets, the significance and condition of these elements should be made clear, so that an assessment can be made as to whether their replacement is appropriate.

A. Officer recommendation is to GRANT consent subject to conditions.

And the following conditions: (See Planning Committee Report/Additional Information Sheet)

- 1) The works to which this listed building consent relate must be begun not later than the expiration of three years beginning with the date on which this consent is granted.
- 2) The development hereby permitted shall not be carried out otherwise than in strict accordance with the submitted details received by the Local Planning Authority on the 23rd January and 27th February 2025 (including drawings numbers, SWN-XX-00-D-B002-P1-Site Plan, SWN-XX-00-D-B-012-P2-Proposed Roof Truss and Wall plates Details, SWN-XX-00-D-B-010-P1-Window Details, SWN-XX-00-D-B-014-P1-Proposed Layout and Notes, SWN-XX-00-D-B-015-P1-Proposed Elevations and notes, SWN-XX-00-D-B-016-P1-Floor Joist Repairs, Window Survey Rev A, and Topsham Museum-Planning Validation and Planning Statements Rev 0) as modified by other conditions of this consent.

OFFICER RECOMMENDATION

3) Prior to its first use on the building, a full specification of render and decorative surface finish shall be submitted to and approved in writing by the Local Planning Authority. The specification shall include the thickness and composition of each coat of render, the finished appearance of the topcoat, and the decorative finish to be applied. Work shall be carried out in accordance with the approved specification and retained so thereafter.

4) Any repair or replacement of any part of the ceilings at second floor level shall be carried out using well haired putty lime plaster on timber lath. If an area of plaster greater than 1m² becomes unsafe it shall not be taken down until a clear plan showing the precise extent and specification of any repair or replacement has been submitted to and approved in writing by the Local Planning Authority.